

DEVELOPMENT APPLICATION ISSUE J

PROJECT:
801–807 NEW CANTERBURY ROAD,
DULWICH HILL

CLIENT:
HARALAMBIS CONSTRUCTION PTY LTD

PROJECT No:
5729

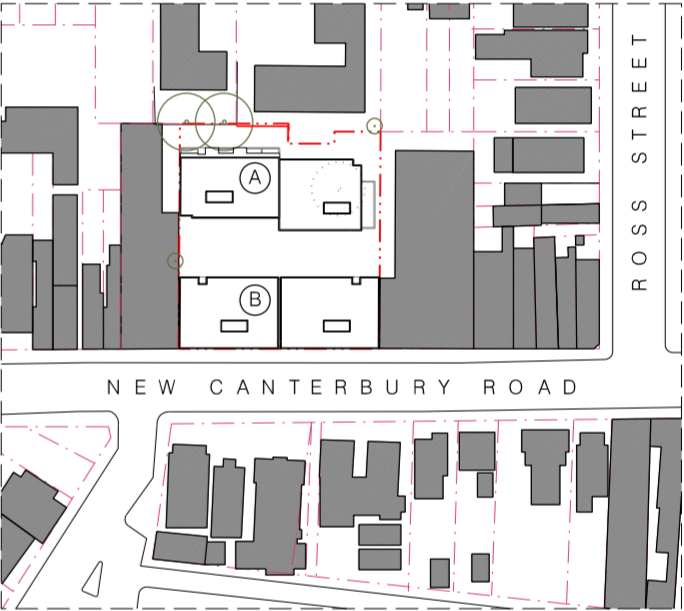
DATE:
18 AUG 2015

ISSUE:
J

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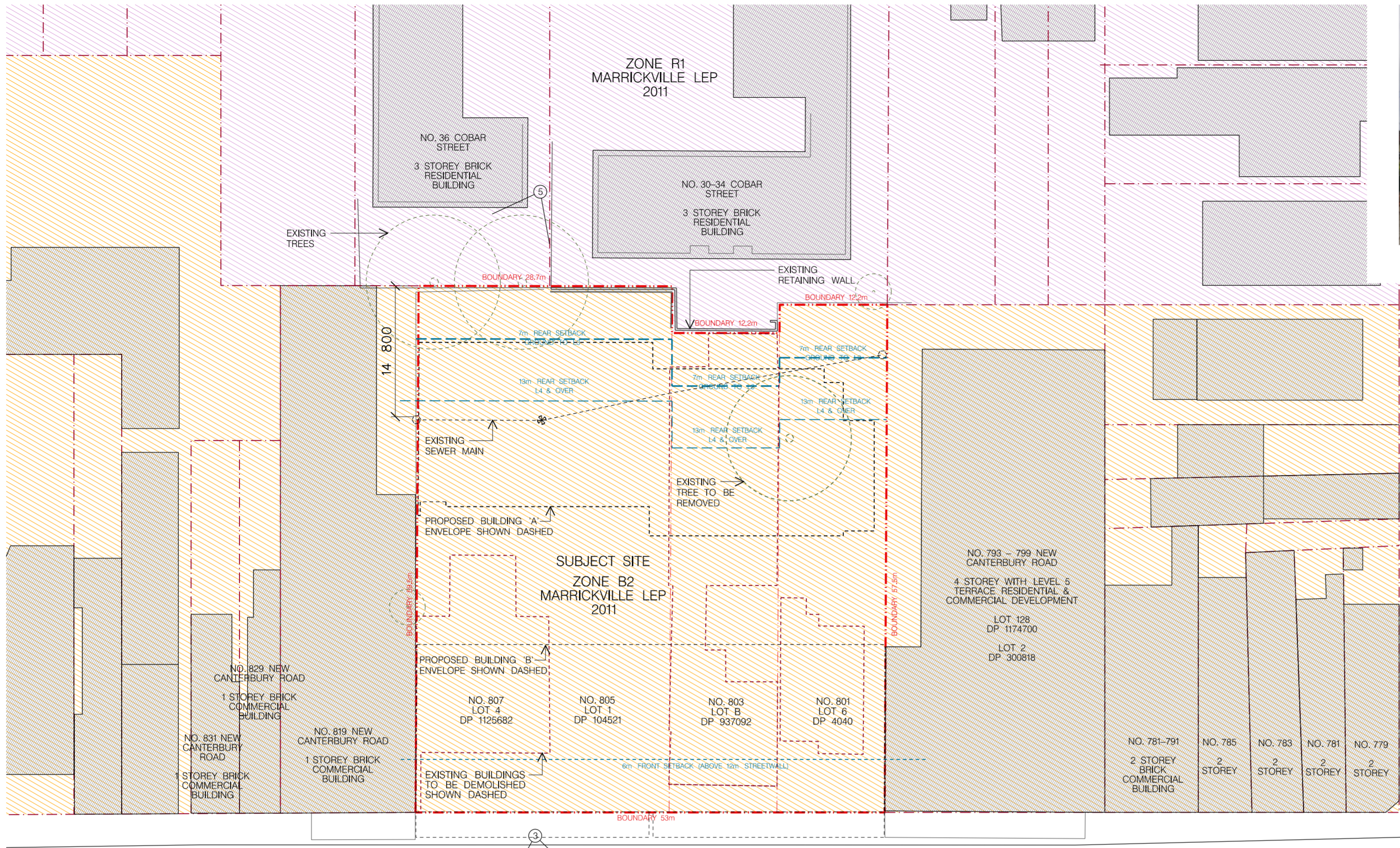
NATHERS Thermal Performance Specification			
External Walls			
Wall Type	Insulation	Colour	Comments
Brick Veneer	R1.5	Light - SA < 0.475	Throughout except as below
Brick Veneer	R2.0	Light - SA < 0.475	A1.05, A1.10
Dintel + Internal Lining	Polystyrene board (Total R value wall and insulation 2.1)	Light - SA < 0.475	Throughout
SA - Solar Absorbance			
Internal Walls			
Wall Type	Insulation	Comments	
Plaster board on Stud	None	Internally in units	
Hebel Panel + Plast Lining	None	Party walls	
Hebel Panel + Plast Lining	None	Lobby/Stair/Common area walls	
Floors			
Floor Type	Insulation	Comments	
Concrete	R1.0	All units with suspended slab over carpark	
Concrete	None	All units with adjoining unit below	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Throughout	
Any insulation loss due to ceiling penetrations for lights, ceiling fans and the like must be offset by increasing the remaining insulation in accordance with the BCA. Insulation loss due to ceiling penetrations has not been included in this assessment.			
Roof			
Roof Type	Insulation	Colour	Comments
Concrete	R2.5	Med - SA 0.475 - 0.7	Throughout
SA - Solar Absorbance			
Windows			
Window Type	U-Value	SHGC	Comments
Single Clear Aluminium	6.57	0.74	Throughout except as below
Double Clear Aluminium	4.3	0.67	South facing glazing of units B1.01, B1.04, B1.05,B1.06, B1.10,B1.09, B2.01, B2.04, B2.05,B2.06, B2.10,B2.09,
Skylights			
Skylight Type	U-Value	SHGC	Comments
na	na	na	na
Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.			

LOCATION PLAN:



DRAWING SCHEDULE

DA 1000	COVER SHEET
DA 1001	SITE ANALYSIS
DA 1101	BASEMENT FLOOR PLAN B2
DA 1102	BASEMENT FLOOR PLAN B1
DA 1103	GROUND FLOOR PLAN
DA 1104	LEVEL 1 FLOOR PLAN
DA 1105	LEVEL 2 FLOOR PLAN
DA 1106	LEVEL 3 FLOOR PLAN
DA 1108	ROOF PLAN
DA 1201	SECTION A & B
DA 1301	NORTH ELEVATION (BUILDING A)
DA 1302	SOUTH ELEVATION (BUILDING A)
DA 1303	NORTH ELEVATION (BUILDING B)
DA 1304	SOUTH ELEVATION (BUILDING B)
DA 1305	EAST AND WEST ELEVATIONS
DA 1401	ADAPTABLE UNIT PLANS
DA 1453	DEVELOPMENT AMENITY ANALYSIS
DA 1801	DEVELOPMENT CALCULATIONS



1. SITE: EXISTING CAR DEALERSHIP AND RESIDENCE



2. WEST NEIGHBOURS



3. SOUTHERN STREET FRONT



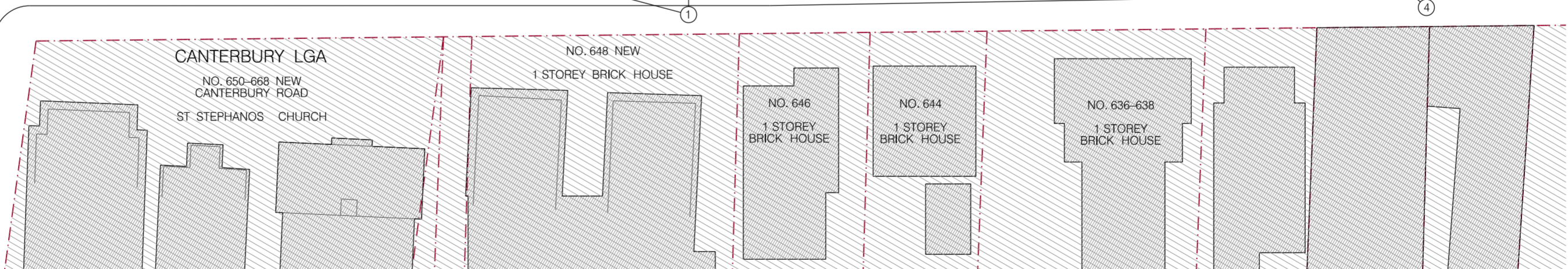
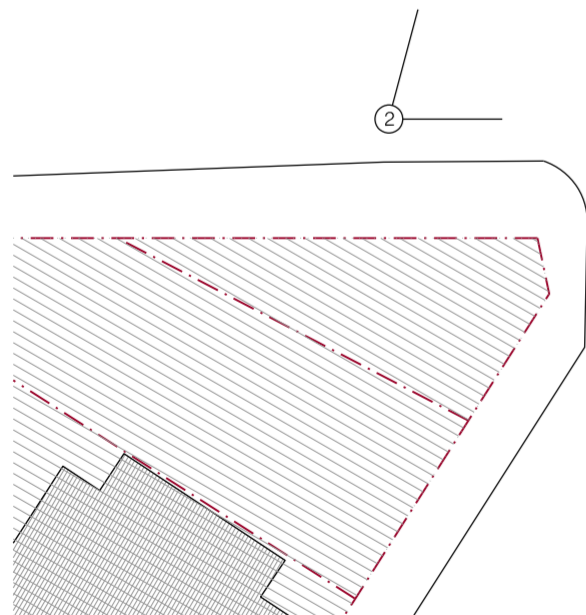
4. EXISTING DEVELOPMENT AT ROSS STREET



5. EXISTING TREES AT 36 COBAR STREET

ROSS STREET

NEW CANTERBURY ROAD



01 SITE AND CONTROLS
1:400 @ A2

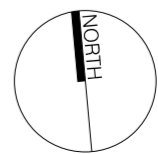
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J	18/09/15	REVISED DA
G	25/09/15	REVISED DA
C	04/05/15	REVISED DA
C	22/04/15	REVISED DA PRELIM
B	22/04/15	REVISED DA PRELIM
A	20/02/15	REVISED DA FOR DA

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NSW ARCHITECTS REG No. - 5773

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CLIENT:
HARALAMBIS MANGEMENT PTY LTD
SCALE: 1:400 @ A2

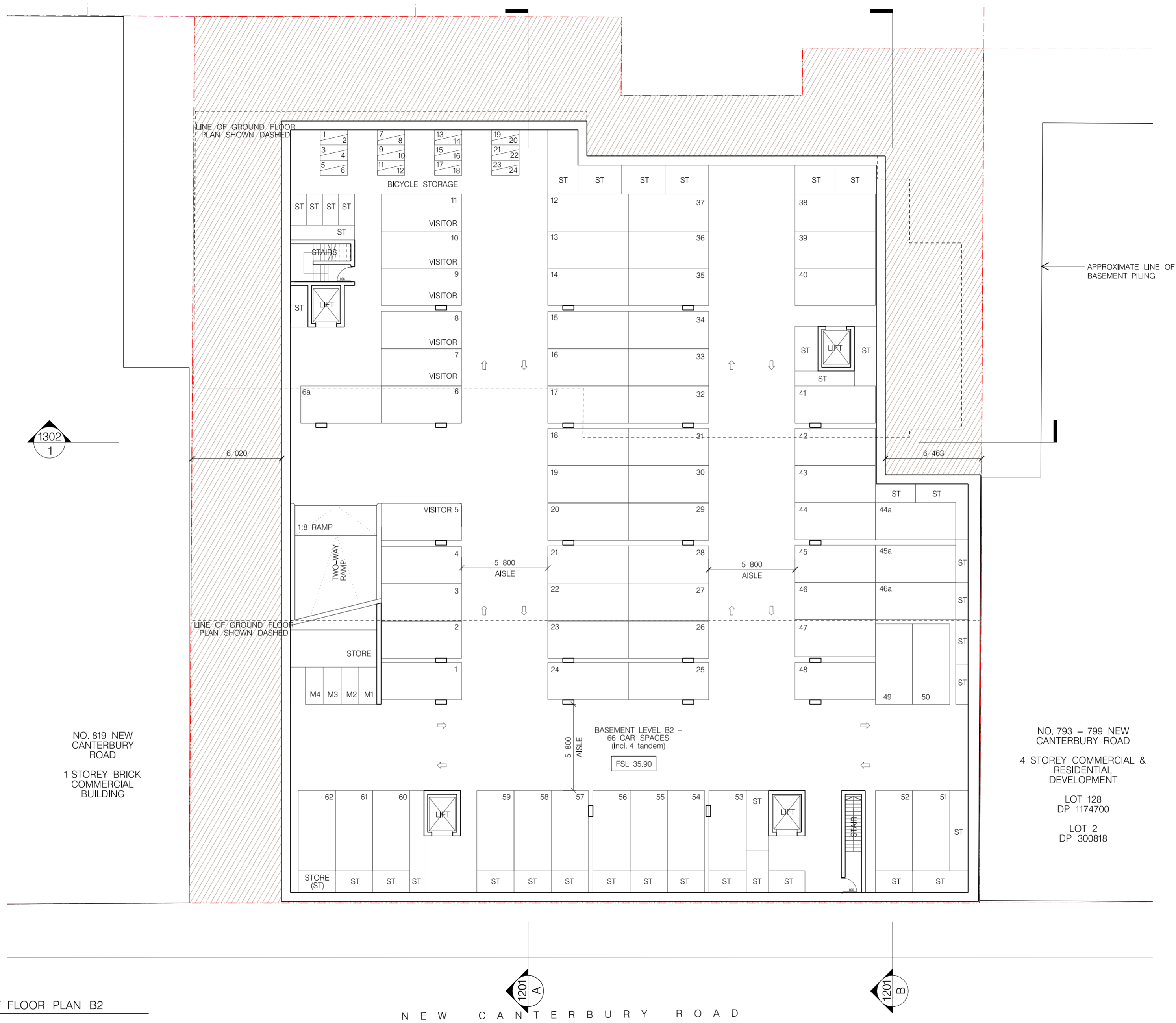


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DRAWING:
SITE
ANALYSIS

DRAWING No.
DA - 1001

JOB No.
5729
ISSUE
J



01 BASEMENT FLOOR PLAN B2
1:200

NEW CANTERBURY ROAD

Issue	Date	Description
J	18/09/15	REVISED DA
G	25/09/15	REVISED DA
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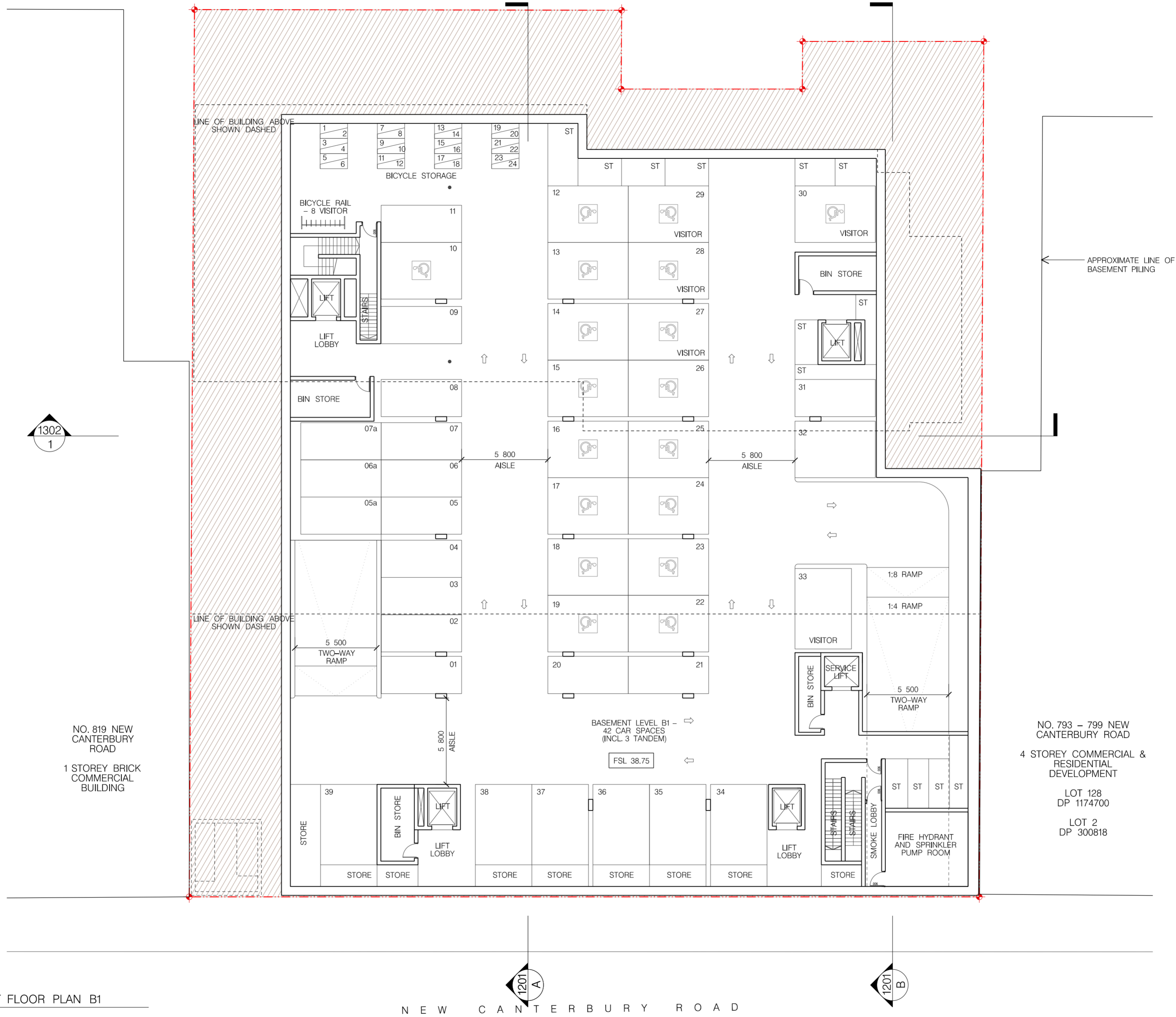
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SCALE: 1:200 @ A2
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DATE:
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DRAWING:
BASEMENT
FLOOR PLAN B2
DRAWING No.
DA - 1101

JOB No.
5729
ISSUE
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01 BASEMENT FLOOR PLAN B1
1:200

NEW CANTERBURY ROAD

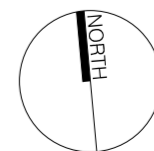
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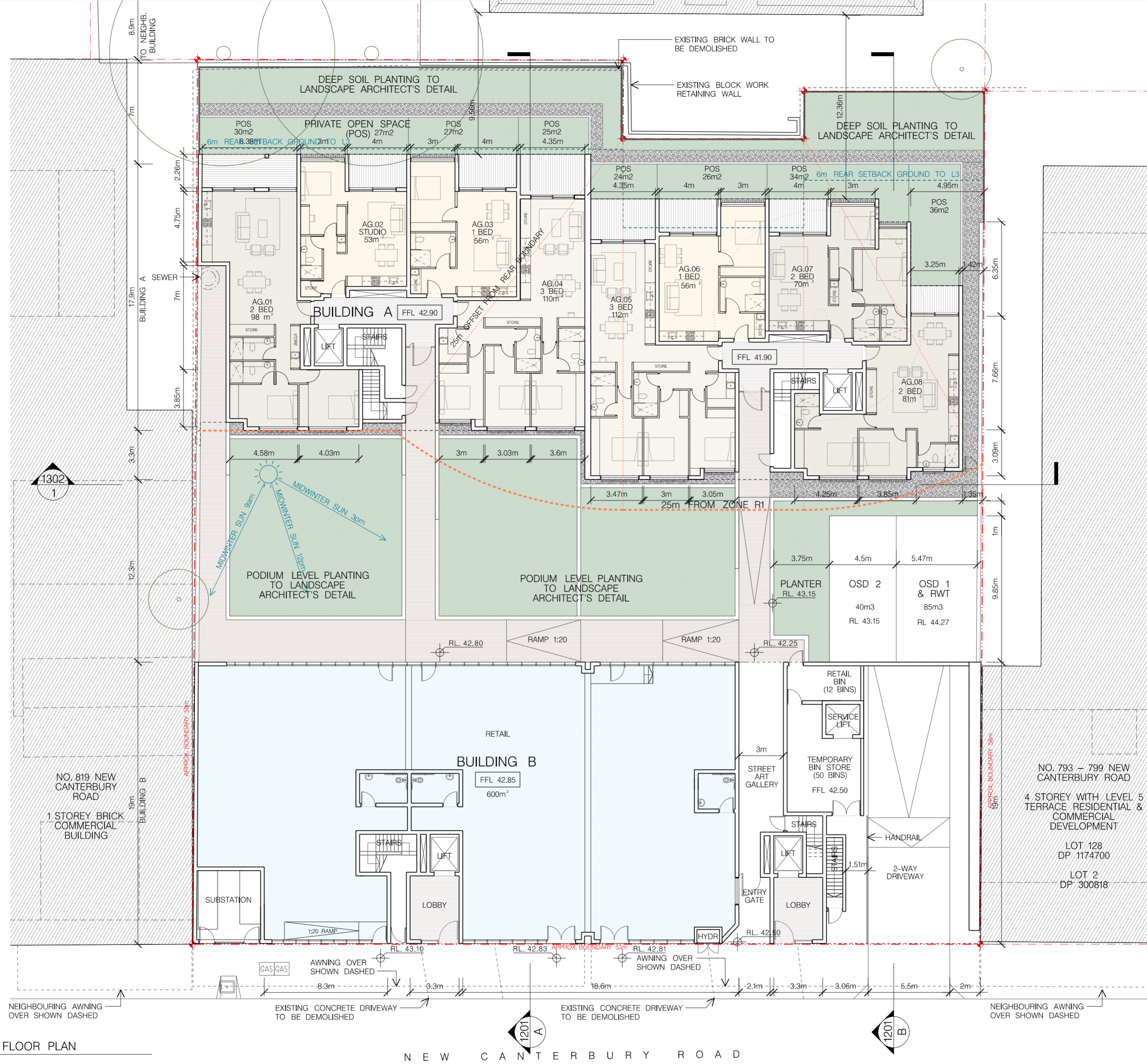
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DRAWING:
BASEMENT
FLOOR PLAN B1
DRAWING No.
DA - 1102

JOB No.
5729
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J



01 GROUND FLOOR PLAN
1:200

NEW CANTERBURY ROAD

Issue	Date	Description
J	18/09/15	REVISED DA
H	21/08/15	REVISED DA
G	25/06/15	REVISED DA
F	22/06/15	REVISED DA
E	10/06/15	REVISED DA
D	10/06/15	REVISED DA
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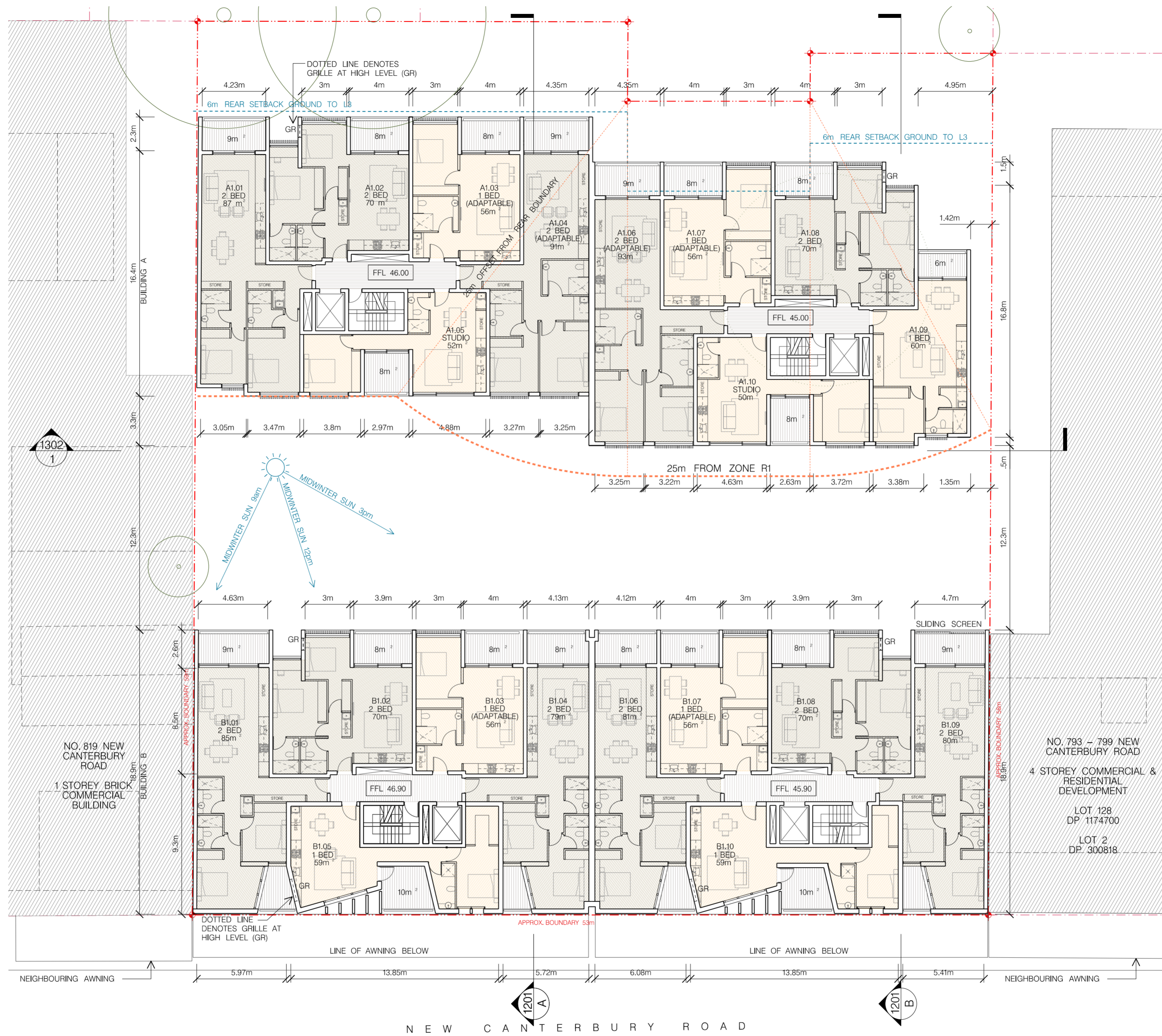
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SCALE:
1:200 @ A2
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DATE:
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DRAWING:
GROUND FLOOR
PLAN
DRAWING No.
DA - 1103

JOB No.
5729
ISSUE
J



01 LEVEL 1 FLOOR PLAN
1:200

Issue	Date	Description
J	18/09/15	REVISED DA
G	25/09/15	REVISED DA
D	12/05/15	REVISED DA
C	04/05/15	REVISED DA
C	22/04/15	REVISED DA PRELIM
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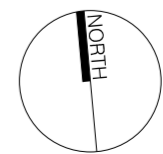
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CLIENT:
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SCALE: 1:200 @ A2



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DRAWING:
LEVEL 1 FLOOR
PLAN
DRAWING No.
DA - 1104

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5729
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J



01 LEVEL 2 FLOOR PLAN
1:200

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J	18/09/15	REVISED DA
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C	04/05/15	REVISED DA
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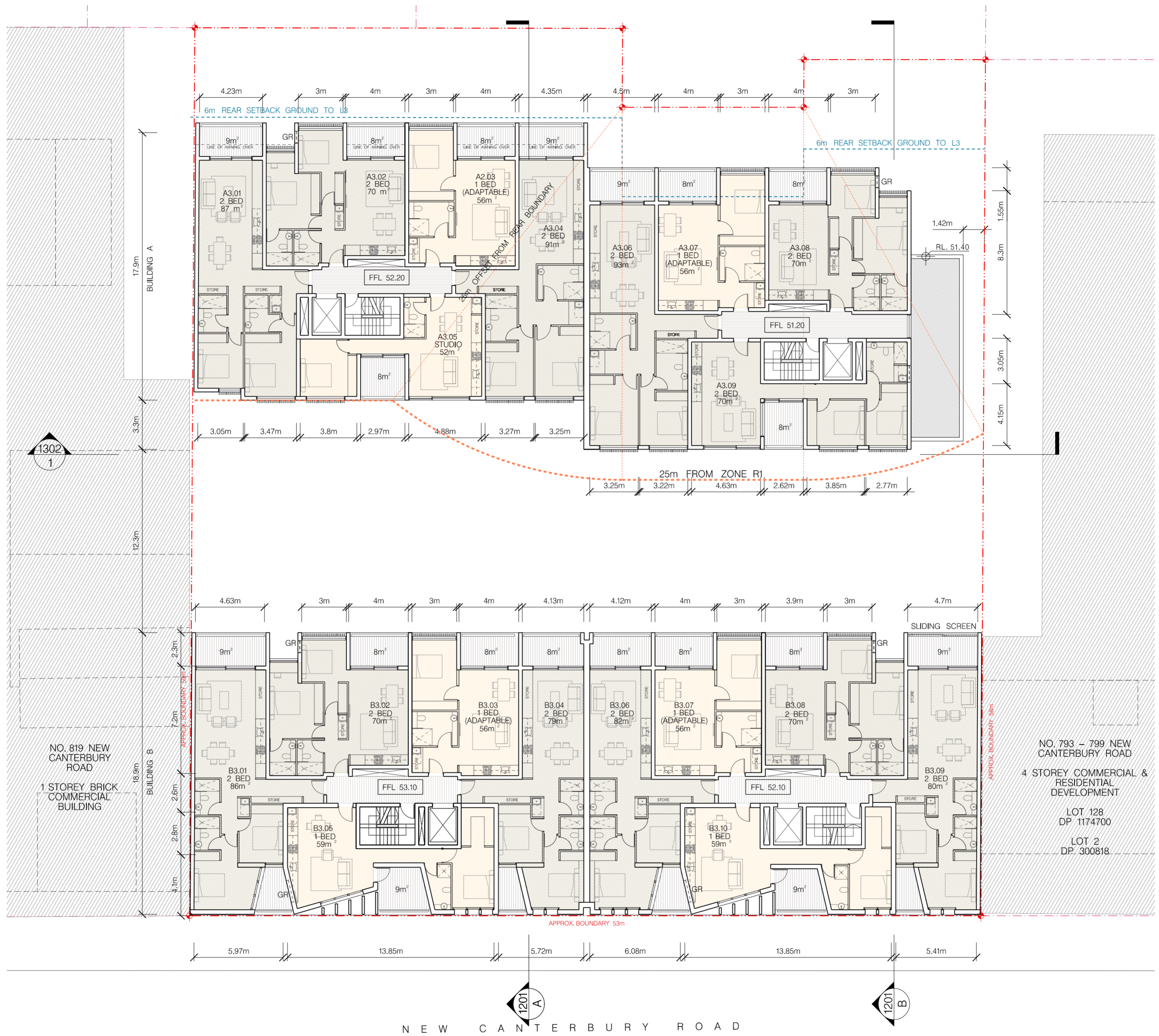
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801-807 NEW CANTERBURY ROAD,
DULWICH HILL
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HARALAMBIS MANGEMENT PTY LTD
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LEVEL 2
FLOOR PLAN
DRAWING No.
DA - 1105

JOB No.
5729
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J



01 LEVEL 3 FLOOR PLAN
1:200

NEW CANTERBURY ROAD

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J	18/09/15	REVISED DA
G	25/09/15	REVISED DA
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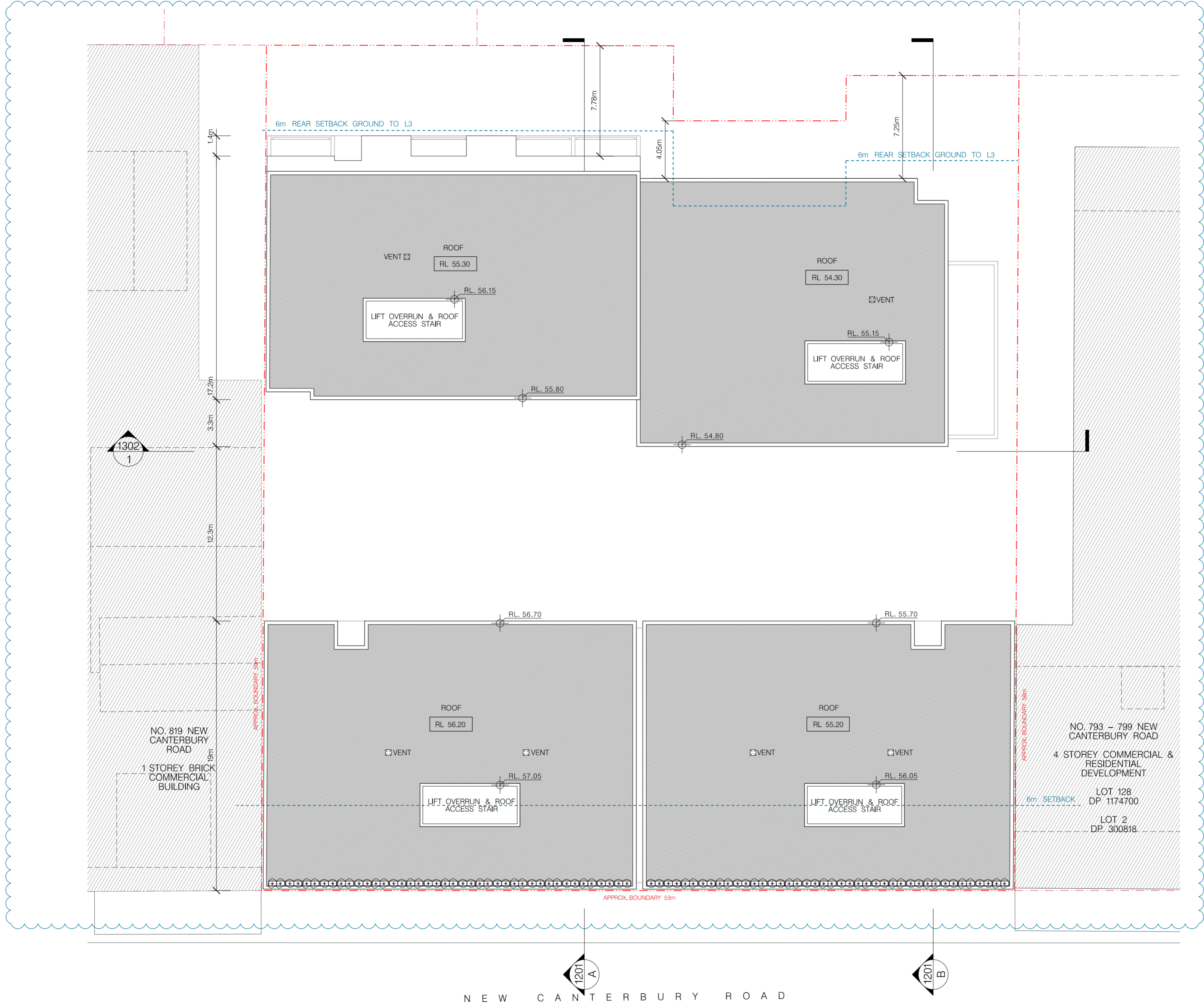
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801-807 NEW CANTERBURY ROAD,
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HARALAMBIS MANGEMENT PTY LTD
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LEVEL 3 FLOOR
PLAN
DRAWING No.
DA - 1106

JOB No.
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J



01 LEVEL 4 FLOOR PLAN
1:200 @ A2

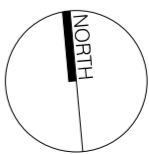
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E	17/06/15	REVISED DA
D	10/06/15	REVISED DA
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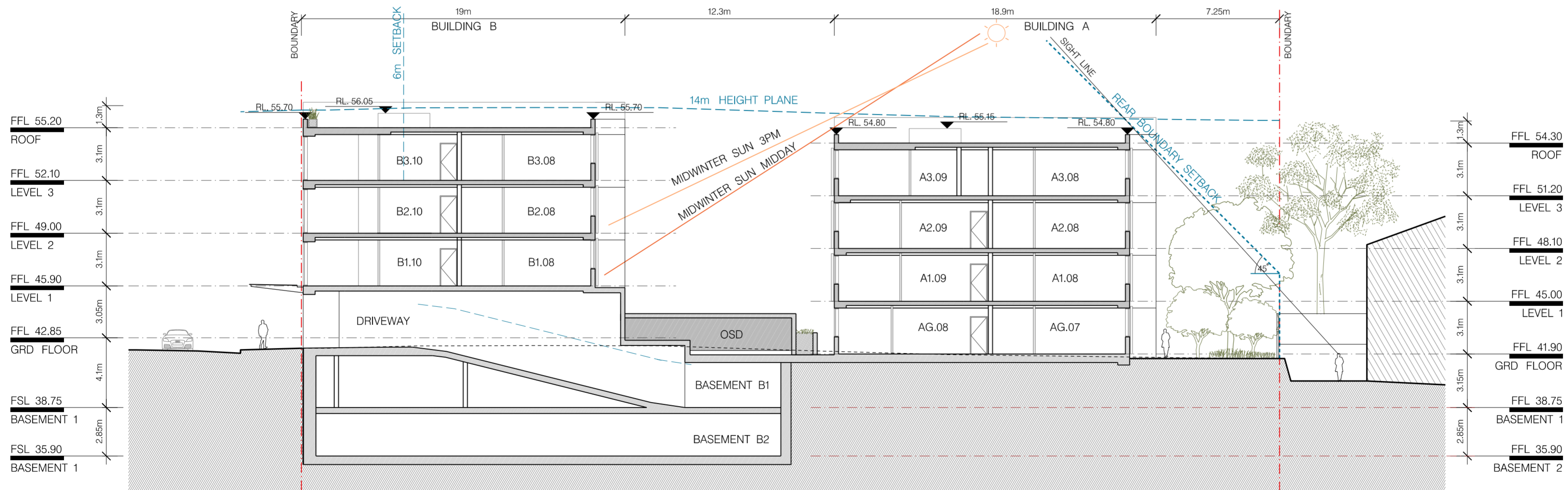
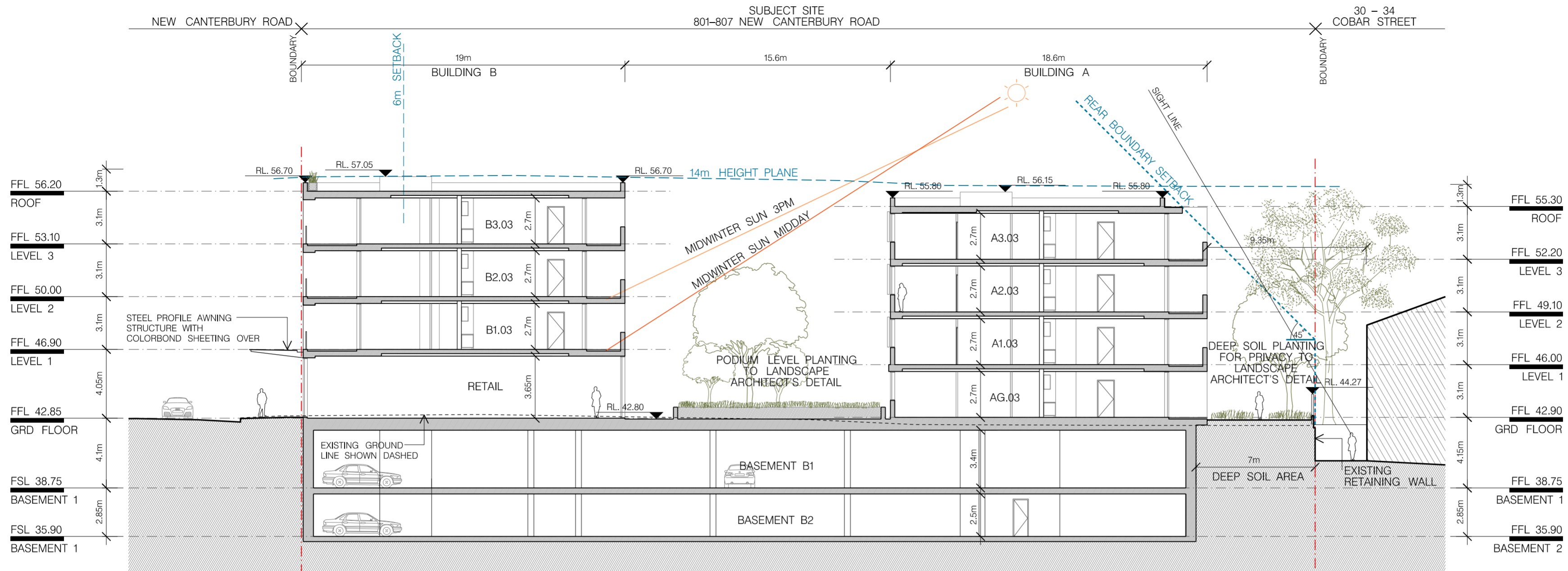
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DRAWING:
ROOF PLAN
DRAWING No.
DA - 1108

JOB No.
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Issue	Date	Description
1	16/09/15	REVISED DA
2	25/06/15	REVISED DA
3	17/06/15	REVISED DA
4	10/06/15	REVISED DA
5	02/06/15	REVISED DA
6	04/05/15	REVISED DA
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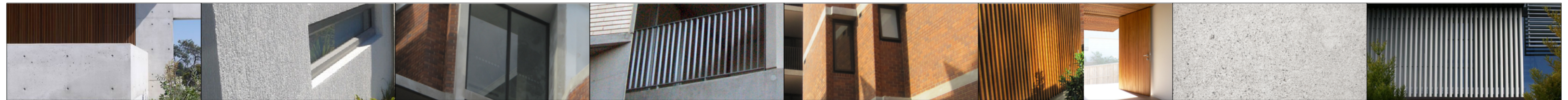
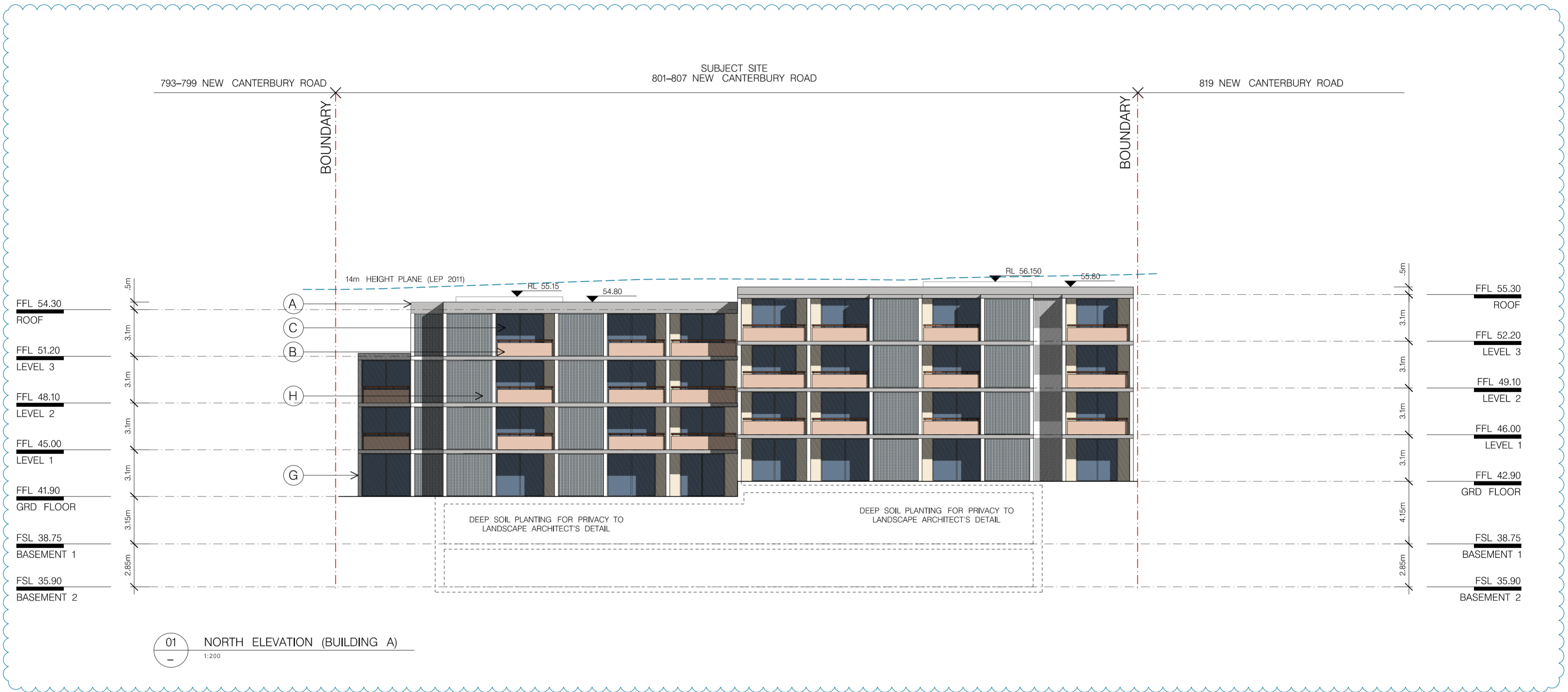
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DRAWING:
SECTION A & B
DRAWING No.
DA - 1201

JOB No.
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ISSUE
J



A OFF FORM CONCRETE

B CEMENT RENDER –
ROUGH FINISH, COLOUR TBC

C ALUMINIUM FRAMED GLAZING

D METAL BALUSTRADE

E FACE BRICK

F TIMBER DOOR

G PRECAST CONCRETE NATURAL
GREY CLEAR SEAL FINISH

H ALUMINIUM PRIVACY SCREEN

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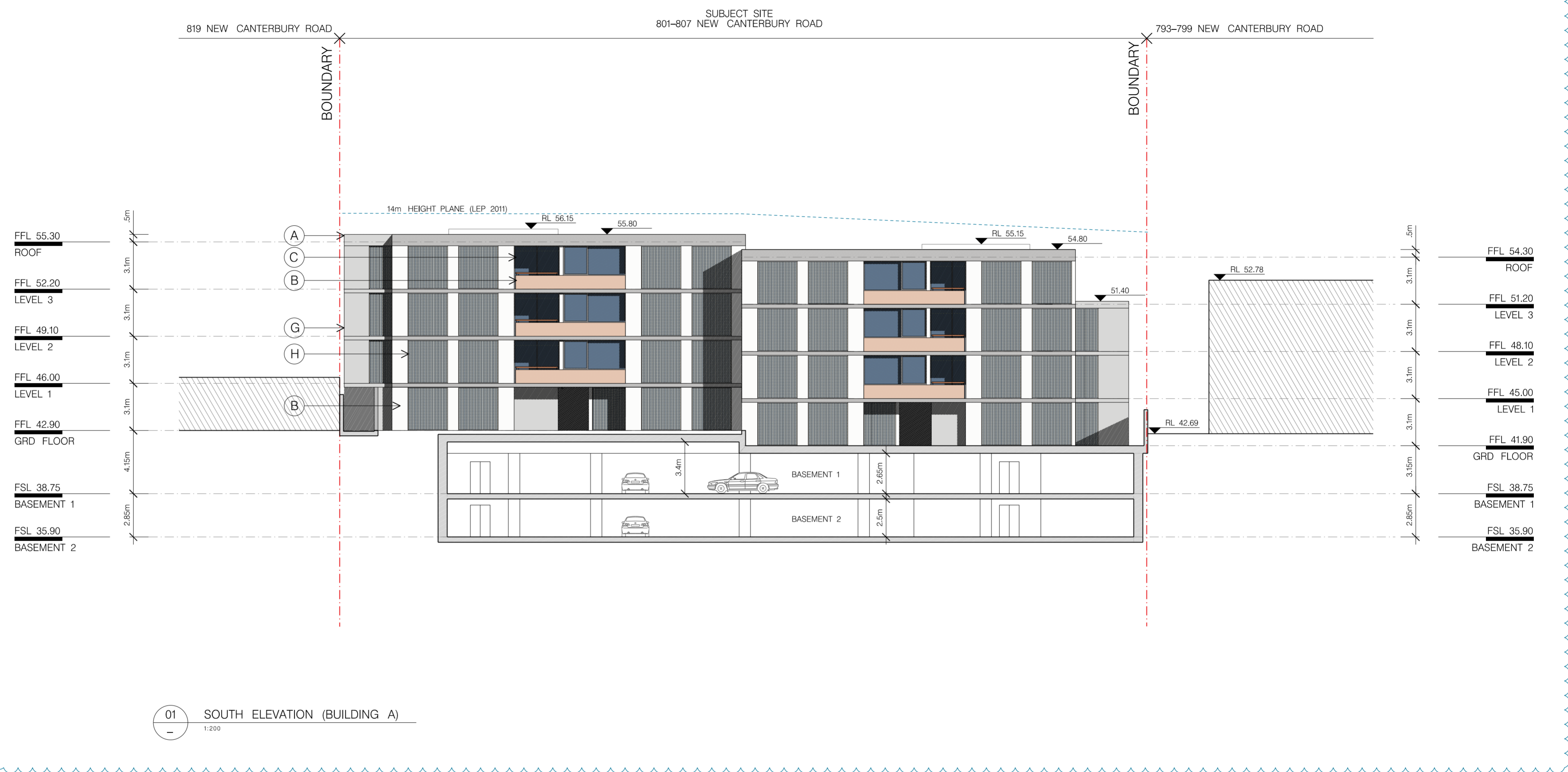
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DRAWING:
NORTH ELEVATION
BUILDING A
DRAWING No.
DA – 1301

JOB No.
5729
ISSUE
J



A OFF FORM CONCRETE

B CEMENT RENDER -
ROUGH FINISH, COLOUR TBC

C ALUMINIUM FRAMED GLAZING

D METAL BALUSTRADE

E FACE BRICK

F TIMBER DOOR

G PRECAST CONCRETE NATURAL
GREY CLEAR SEAL FINISH

H ALUMINIUM PRIVACY SCREEN

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801-807 NEW CANTERBURY ROAD,
DULWICH HILL
CLIENT:
HARALAMBIS MANGEMENT PTY LTD

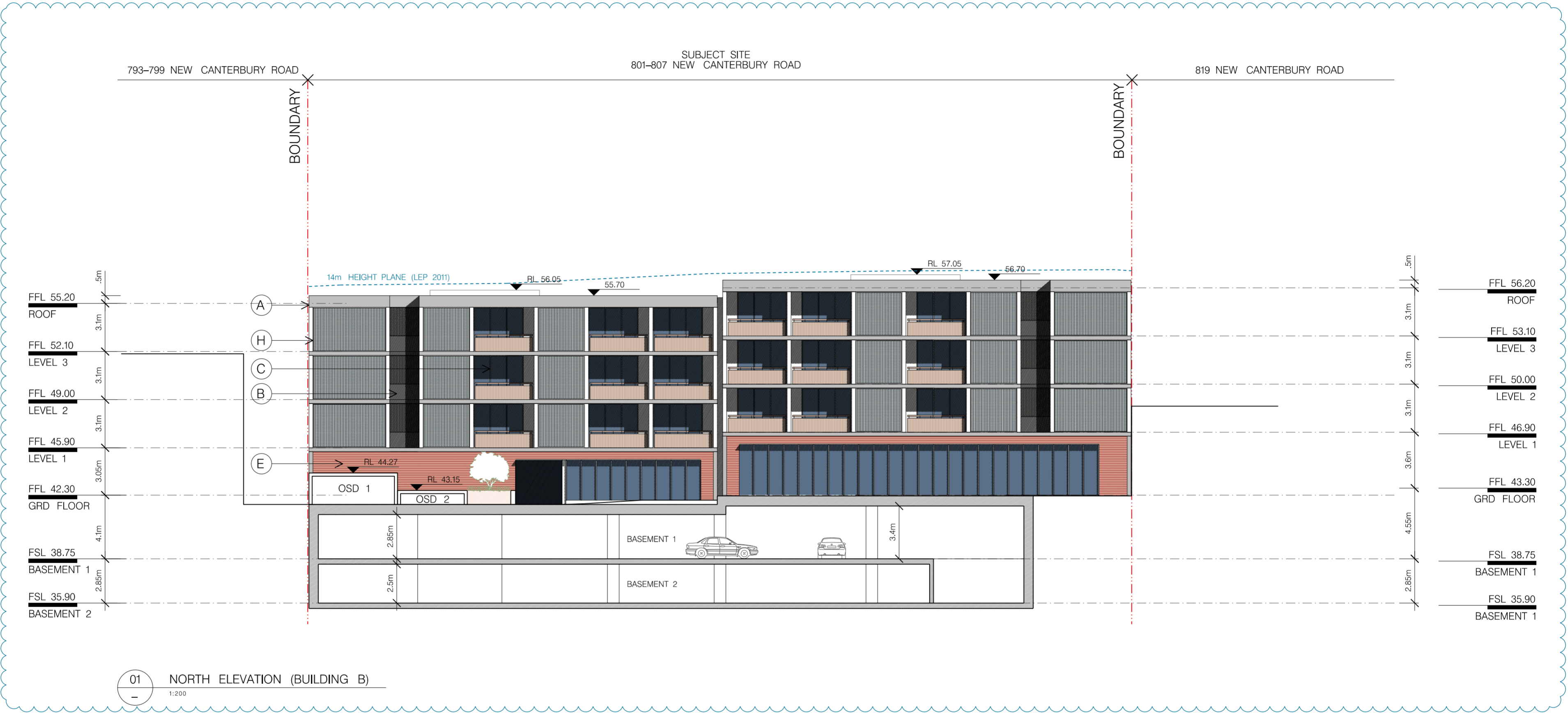
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DATE:
18 SEP 2015
CHECKED 1:
ND
CHECKED 2:
-
DRAWN BY:
JL

DRAWING:
SOUTH ELEVATION
BUILDING A

DRAWING No.
DA - 1302

JOB No.
5729
ISSUE
J



A OFF FORM CONCRETE

B CEMENT RENDER –
ROUGH FINISH, COLOUR TBC

C ALUMINIUM FRAMED GLAZING

D METAL BALUSTRADE

E FACE BRICK

F TIMBER DOOR

G PRECAST CONCRETE NATURAL
GREY CLEAR SEAL FINISH

H ALUMINIUM PRIVACY SCREEN

Issue	Date	Description
J	18/09/15	REVISED DA
G	25/06/15	REVISED DA
C	04/05/15	REVISED DA
B	23/04/15	REVISED DA PRELIM
A	20/02/15	REVISED DA PRELIM FOR DA

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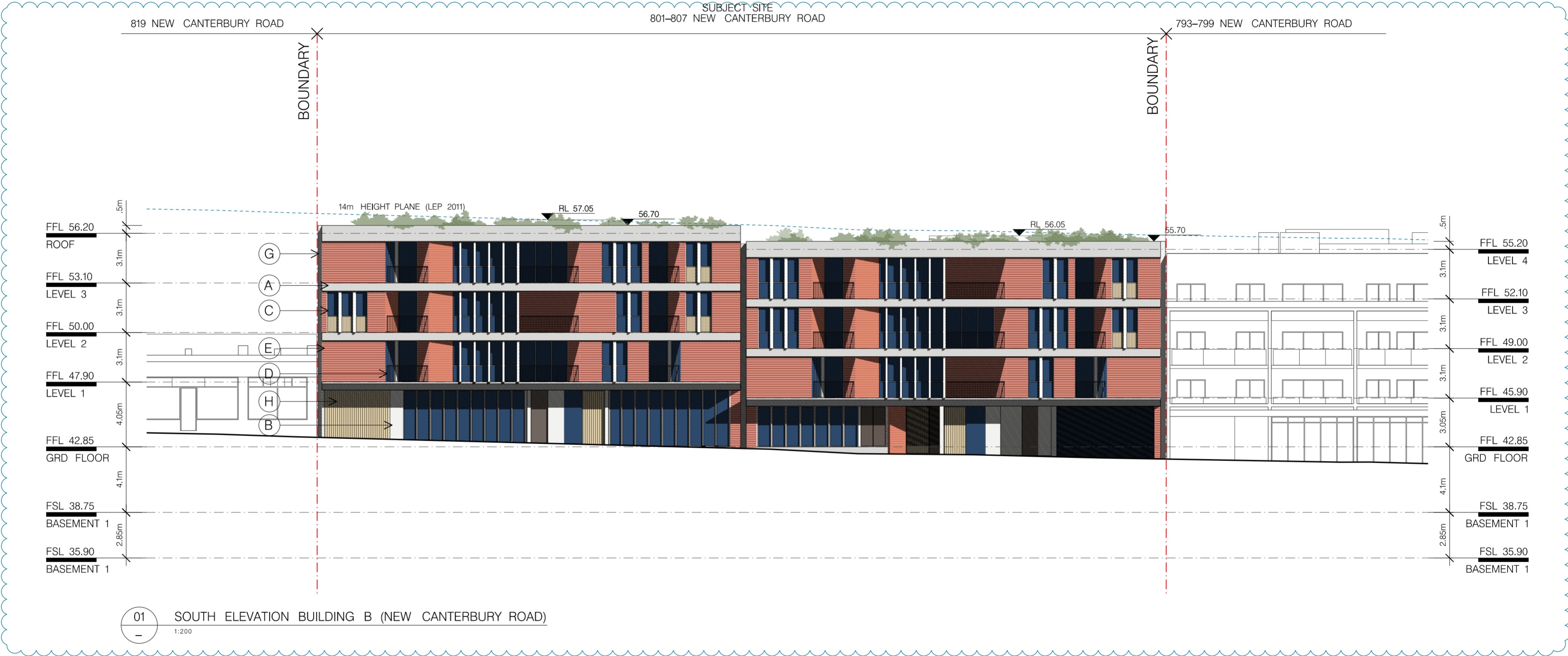
ARCHITECT:
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NSW ARCHITECTS REG No. – 5773

PROJECT:
801-807 NEW CANTERBURY ROAD,
DULWICH HILL
CLIENT:
HARALAMBIS MANGEMENT PTY LTD
SCALE:
1:200 @ A2
0m 2m 5m 10m

DATE:
18 SEP 2015
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CHECKED 2:
-
DRAWN BY:
JL

DRAWING:
NORTH ELEVATION
BUILDING B
DRAWING No.
DA – 1303

JOB No.
5729
ISSUE
J



A OFF FORM CONCRETE



B CEMENT RENDER -
ROUGH FINISH, COLOUR TBC



C ALUMINIUM FRAMED GLAZING



D METAL BALUSTRADE



E FACE BRICK



F TIMBER DOOR



G PRECAST CONCRETE NATURAL
GREY CLEAR SEAL FINISH



H ALUMINIUM PRIVACY SCREEN

Issue	Date	Description
J	18/09/15	REVISED DA
G	25/06/15	REVISED DA
C	04/05/15	REVISED DA
C	23/04/15	REVISED DA PRELIM.
B	18/03/15	REVISED DA PRELIM.
A	20/02/15	REVISED DA PRELIM.

Drawing Original Size A2

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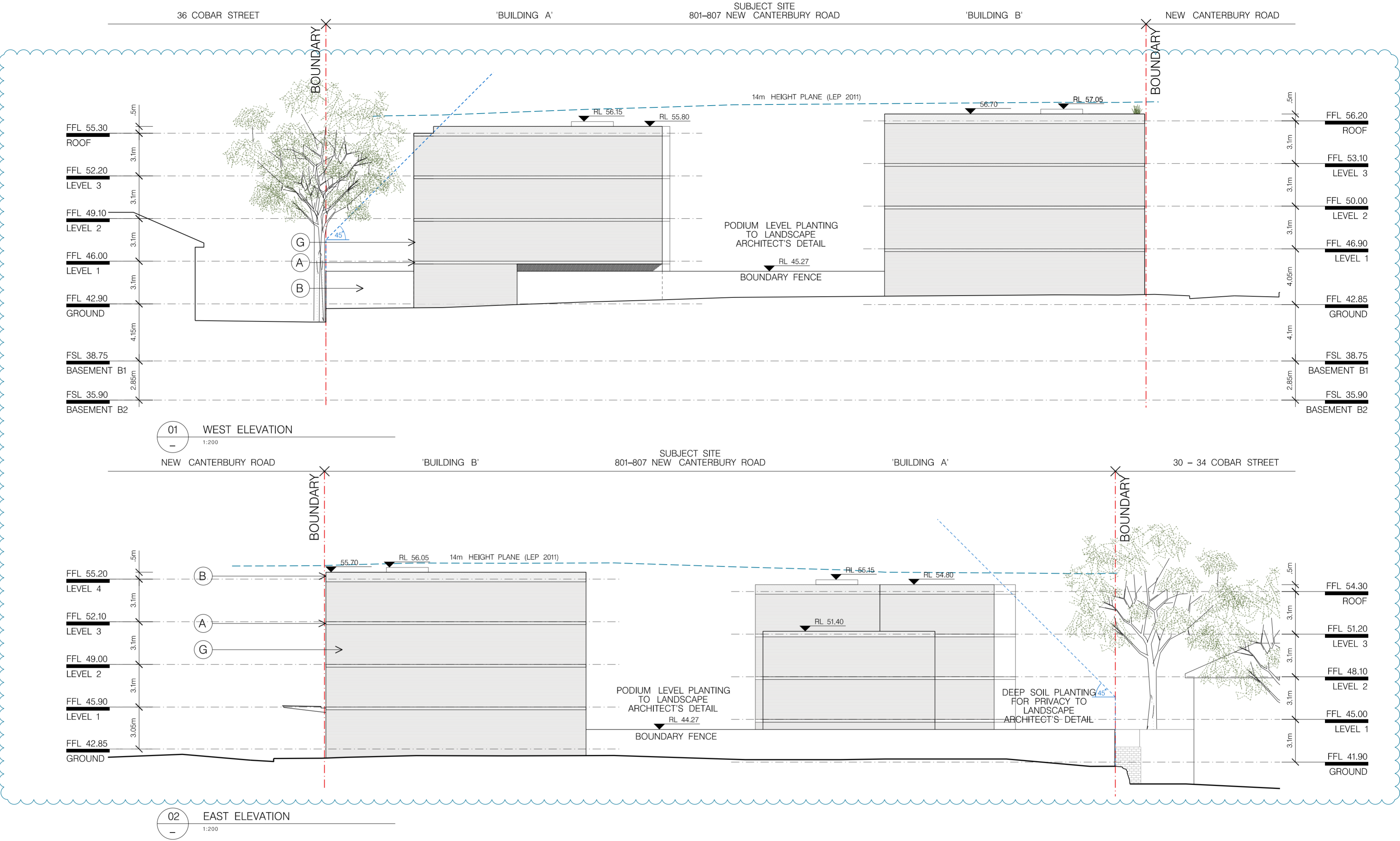
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PROJECT:
801-807 NEW CANTERBURY ROAD,
DULWICH HILL
CLIENT:
HARALAMBIS MANGEMENT PTY LTD
SCALE: 1:200 @ A2
0m 2m 5m 10m

DATE:
18 SEP 2015
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CHECKED 2:
-
DRAWN BY:
JL

DRAWING:
SOUTH ELEVATION
BUILDING B
DRAWING No.
DA - 1304

JOB No.
5729
ISSUE
J



A OFF FORM CONCRETE

B CEMENT RENDER –
ROUGH FINISH, COLOUR TBC

C ALUMINIUM FRAMED GLAZING

D METAL BALUSTRADE

E FACE BRICK

F TIMBER DOOR

G PRECAST CONCRETE NATURAL
GREY CLEAR SEAL FINISH

H ALUMINIUM PRIVACY SCREEN

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PROJECT:
801-807 NEW CANTERBURY ROAD,
DULWICH HILL

CLIENT:
HARALAMBIS MANGEMENT PTY LTD

SCALE: 1:200 @ A2

0m 2m 5m 10m

DATE:
18 SEP 2015

CHECKED 1:
ND

CHECKED 2:
-

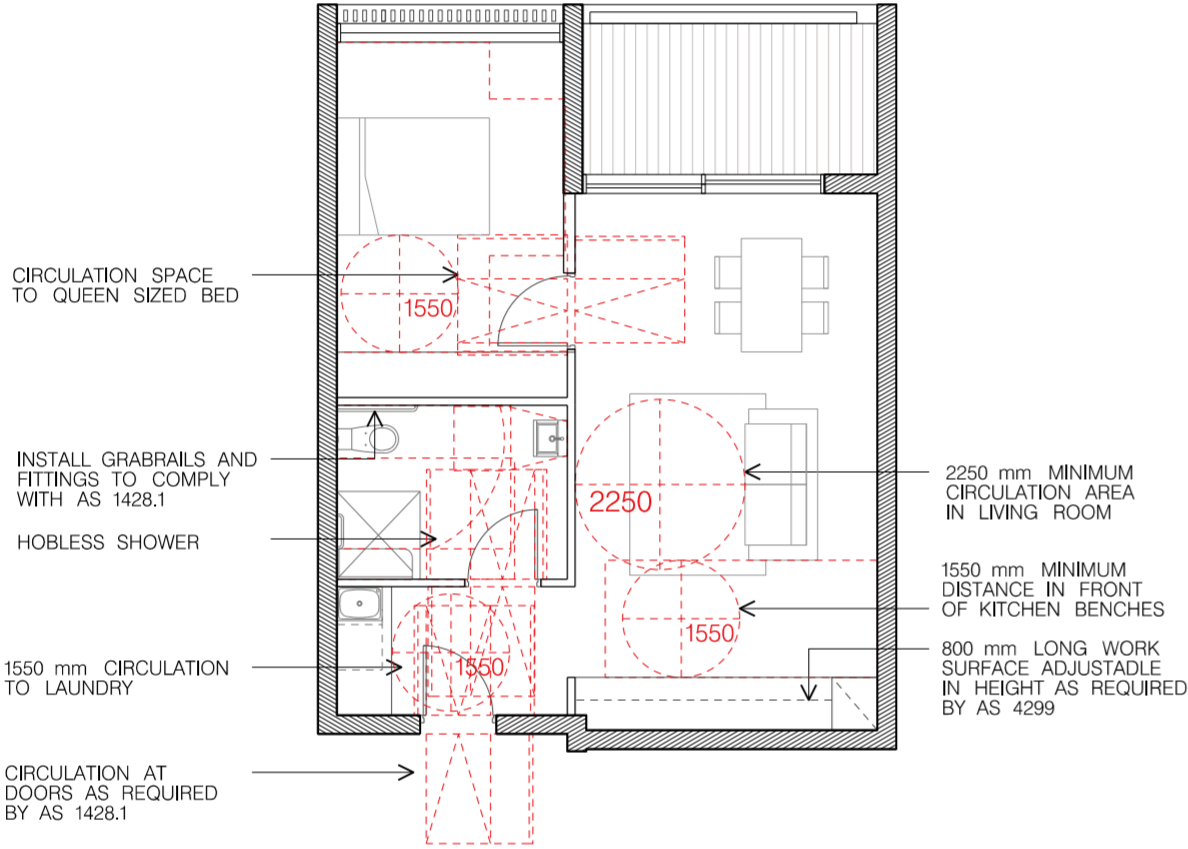
DRAWN BY:
JL

DRAWING:
ELEVATIONS
EAST AND WEST

DRAWING No.
DA – 1305

JOB No.
5729

ISSUE
J



02

ADAPTABLE UNIT PLAN – TYPE A

1:100 @ A2

12 ADAPTABLE UNITS:

A1.03
A1.07

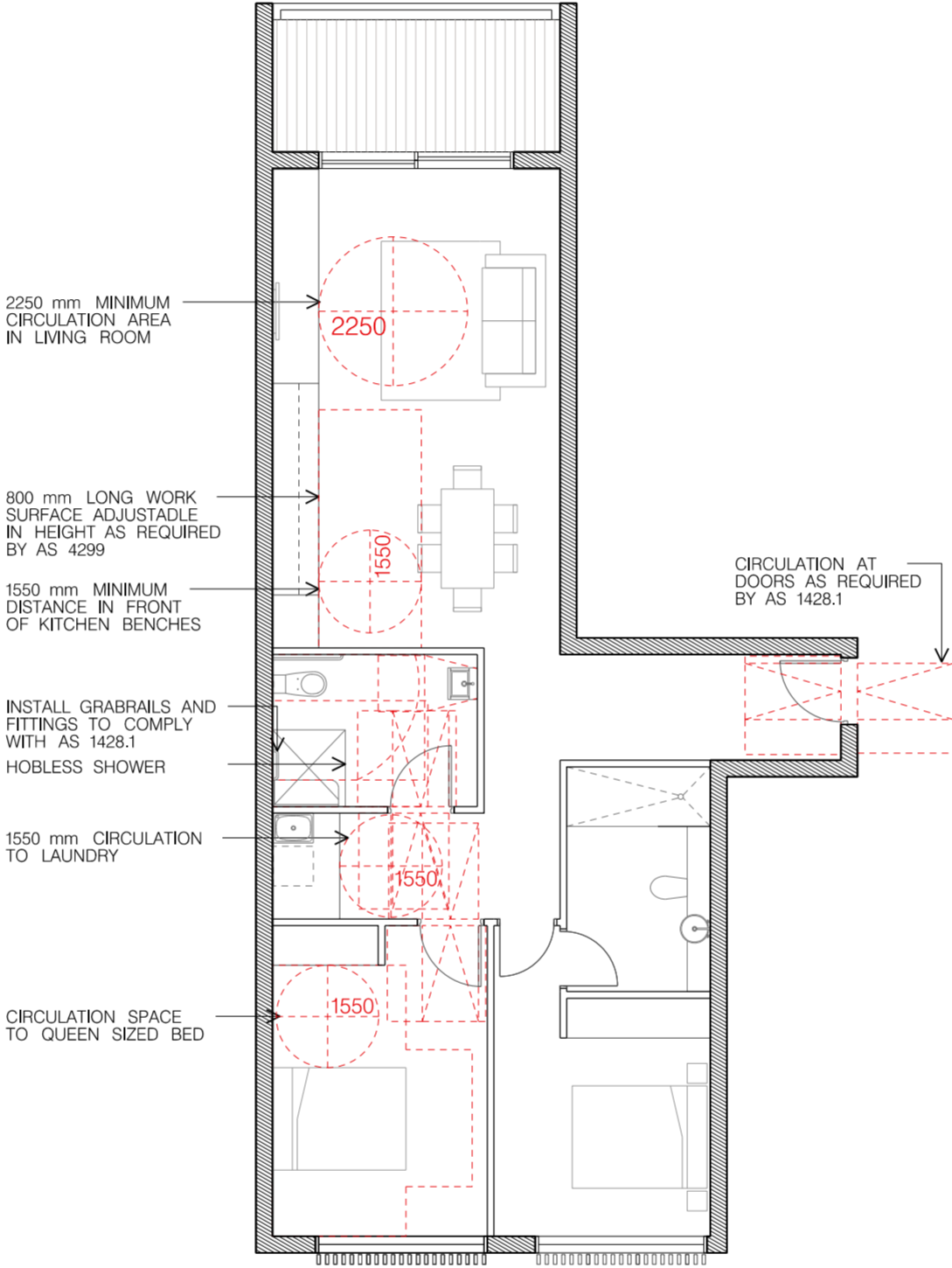
B1.03
B1.07

A2.03
A2.07

B2.03
B2.07

A3.03
A3.07

B3.03
B3.07



03

ADAPTABLE UNIT PLAN – TYPE B

1:100 @ A2

2 ADAPTABLE UNITS:

A1.04
A1.06

Issue	Date	Description	Original Size	A2
J	18/09/15	REVISED DA		
G	25/06/15	REVISED DA		
C	04/05/15	REVISED DA		
P	22/04/15	REVISED DA PRELIM FOR DA		
A	20/02/15	REVISED DA PRELIM FOR DA		

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NSW ARCHITECTS REG No. – 5773

PROJECT:
801–807 NEW CANTERBURY ROAD,
DULWICH HILL
CLIENT:
HARALAMBIS MANGEMENT PTY LTD
SCALE: 1:100 @ A2
0m 1m 2m 5m

DATE:
18 SEP 2015
CHECKED 1:
ND
CHECKED 2:
-
DRAWN BY:
JL

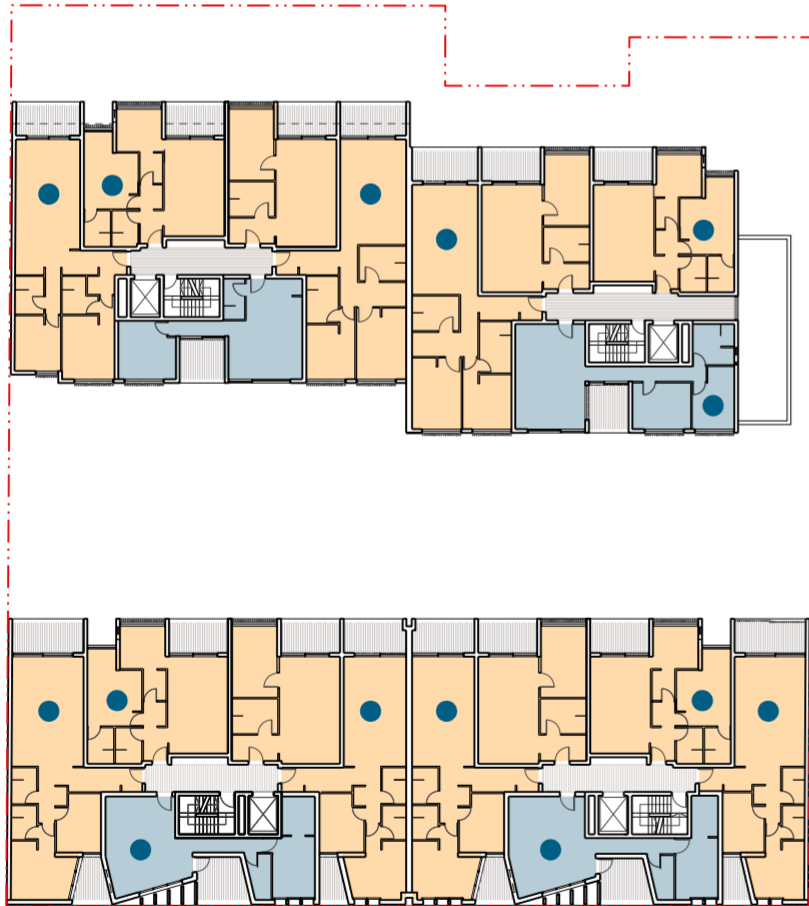
DRAWING:
ADAPTABLE
UNIT PLANS
DRAWING No.
DA – 1401

JOB No.
5729
ISSUE
J



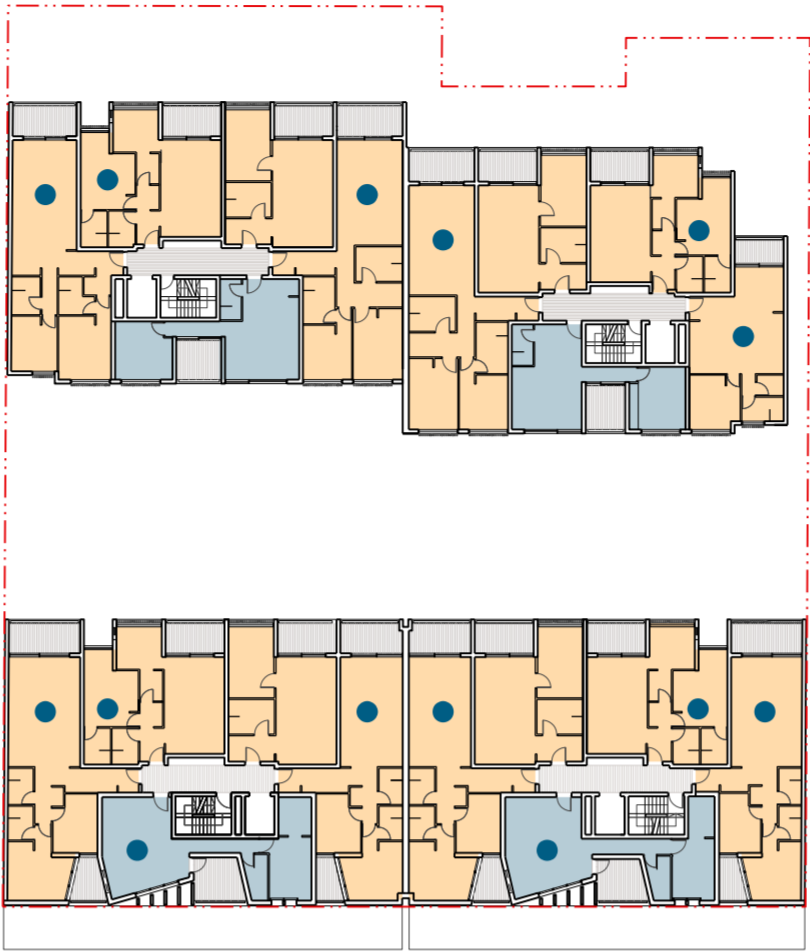
GROUND

CALCULATIONS FOR JUNE/SEPTEMBER 21		TOTAL	8 UNITS
<div></div>	MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	8	UNIT
<div></div>	LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS	0	UNITS
<div></div>	NATURAL CROSS VENTILATION	5	UNITS



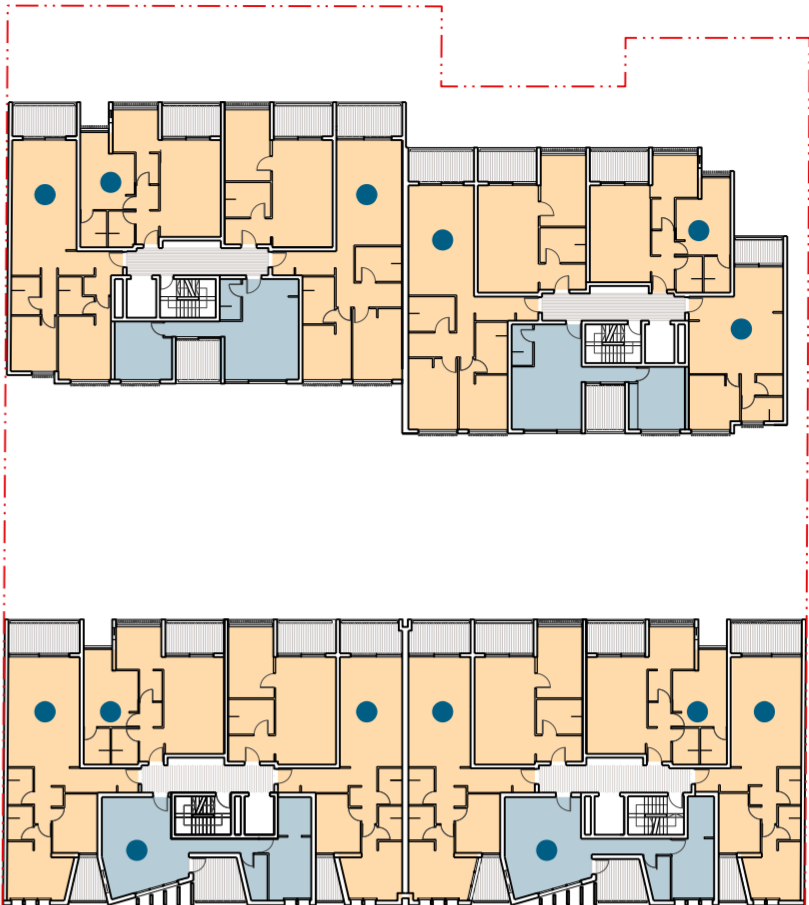
LEVEL 3

CALCULATIONS FOR JUNE/SEPTEMBER 21		TOTAL	19 UNITS
<div></div>	MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	15	UNIT
<div></div>	LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS	4	UNITS
<div></div>	NATURAL CROSS VENTILATION	14	UNITS



LEVEL 1

CALCULATIONS FOR JUNE/SEPTEMBER 21		TOTAL	20 UNITS
<div></div>	MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	16	UNIT
<div></div>	LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS	4	UNITS
<div></div>	NATURAL CROSS VENTILATION	14	UNITS



LEVEL 2

CALCULATIONS FOR JUNE/SEPTEMBER 21		TOTAL	20 UNITS
<div></div>	MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	16	UNIT
<div></div>	LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS	4	UNITS
<div></div>	NATURAL CROSS VENTILATION	14	UNITS

SOLAR ACCESS SUMMARY

	MORE THAN 2 HOURS OF DIRECT SOLAR ACCESS	LESS THAN 2 HOURS OF DIRECT SOLAR ACCESS
GROUND LEVEL	8	0
LEVEL 01	16	4
LEVEL 02	16	4
LEVEL 03	15	4
TOTAL	55	12
PERCENTAGE (67 UNITS)	82%	18%

CROSS VENTILATION SUMMARY

	CROSS VENTILATED	NON-CROSS VENTILATED
GROUND LEVEL	5	3
LEVEL 01	14	6
LEVEL 02	14	6
LEVEL 03	14	5
TOTAL	47	20
PERCENTAGE (67 UNITS)	70%	30%

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PROJECT:
801-807 NEW CANTERBURY ROAD,
DULWICH HILL
CLIENT:
HARALAMBIS MANGEMENT PTY LTD
SCALE: 1:500 @ A2
0m 5m 10m 20m

DATE:
18 SEP 2015
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JL

DRAWING:
DEVELOPMENT
AMENITY ANALYSIS
DRAWING No.
DA - 1453

JOB No.
5729
ISSUE
J



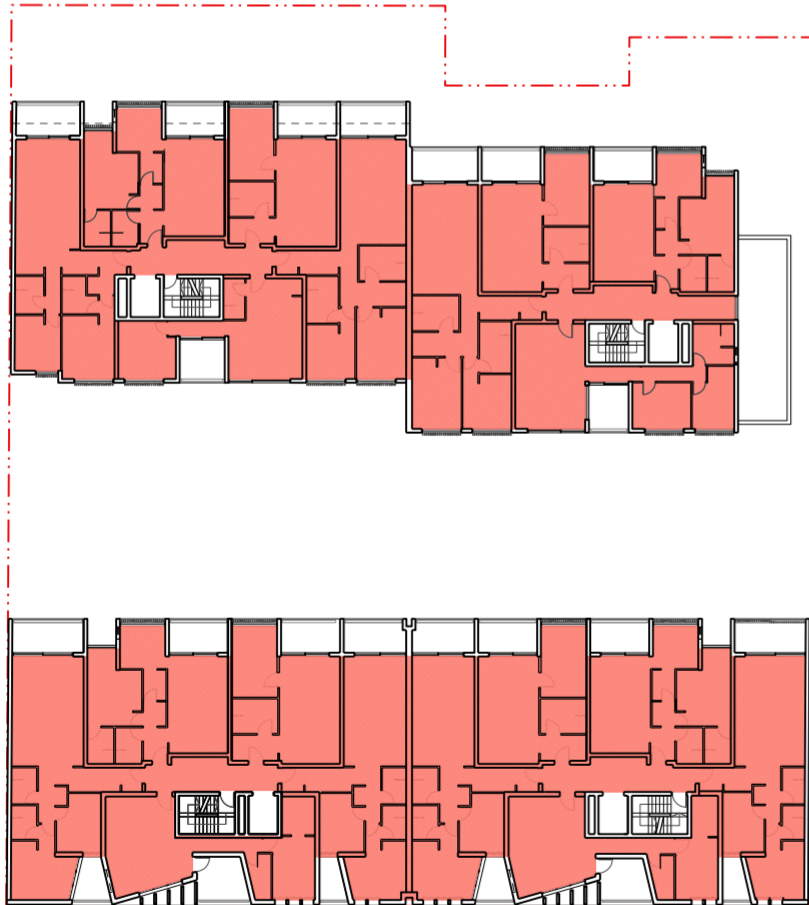
BASEMENT 1 FLOOR PLAN - 1:500



GROUND FLOOR PLAN - 1:500



LEVEL 1 & 2 FLOOR PLAN - 1:500



LEVEL 3 FLOOR PLAN - 1:500

AREA CALCULATIONS

SITE	GFA	SITE AREA	FSR
B1	319	(21 car spaces in excess of the MDCP)	
G	1 371		
L1	1 530		
L2	1 530		
L3	1 490		
TOTAL	6 240	3 070	2.03:1

UNIT MIX

LEVEL	STUDIO	1 BED	2 BED	3 BED
G	1	2	3	2
L1	2	7	11	0
L2	2	7	11	0
L3	1	6	12	0
	6 (9%)	22 (33%)	37 (55%)	2 (3%)
TOTAL	67 UNITS			

KEY



GFA

Issue	Date	Description
J	18/09/15	REVISED DA
G	25/06/15	REVISED DA
E	11/06/15	REVISED DA
D	12/05/15	REVISED DA
C	04/05/15	REVISED DA
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0m 5m 10m 20m

DATE:
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JL

DRAWING:
DEVELOPMENT
CALCULATIONS
DRAWING No.
DA - 1801

JOB No.
5729
ISSUE
J